



AGENDA - TROY PLANNING COMMISSION MEETING
WEDNESDAY, OCTOBER 11, 2023, 3:30 P.M.
CITY HALL, COUNCIL CHAMBERS

1. Roll Call
2. Minutes - Sep. 27, 2023
3. Review of City Beautification Committee proposed plantings and color palate for 2024. Information will be presented at the meeting by Gareth Johnston, Chair of the City Beautification Committee, and Renee Lavey. (Information regarding colors/plantings will be presented at the meeting.)
-Commission to make decision.
4. Addison Landing Subdivision - Preliminary Plan Approval. Subdivision is located along Dorset Road and Lytle Road, north of the Brook Park Subdivision.
Owner: Lytle Road Developers, LTD
Applicant: Choice One Engineering
-Commission to make decision
5. Planned Development Application and General Plan Application - Somerset Reserve Subdivision, located at 3054 W. Market Street, part of IL 11550, along W. Market Street and Nashville Road. Application is for review of the General Plan/Rezoning from Agriculture-Residential to a Planned Development-Residential (PD-R). This is the first step in the Planned Development process.
Owner: Ann Huegel and Charles Isern
Applicant: DDC Management LLC
-Commission to determine whether or not to hold a public hearing
-Commission to provide recommendation to Troy City Council
6. Adjourn

Next Meeting -- October 25, 2023

Note to Commission members: If you will not be attending, please email or call Sue.

September 27, 2023

A regular meeting of the Troy Planning Commission was held in Council Chambers, City Hall on Wednesday, September 27, 2023, at 3:30 p.m. with Vice-Chairman Larry Wolke presiding. ATTENDING: Members – Ehrlich, Oda, Wolke, and Titterington; Development Staff – Eidemiller, Long and Bruner; Development Director – Tim Davis

APPROVAL OF MINUTES: Upon motion of Mr. Titterington, seconded by Mrs. Ehrlich, the minutes of the September 13, 2023 meeting were approved by unanimous voice vote.

DEDICATION OF RIGHT-OF-WAY ALONG 801 DYE MILL ROAD, CONAGRA PLAT, DEDICATION OF 0.769 ACRES OF RIGHT-OF-WAY OF IL 6209 AND PART OF IL 6210: APPLICANT – CHOICEONE ENGINEERING. Staff reported: the replat is considered a minor subdivision and does not require Planning Commission approval as Council will review the acceptance and dedication of the right-of-way; the replat is for three parcels along Dye Mill Road totaling 32.297 acres with all existing easements will remain as previously accepted and dedicated; the recent expansions of the ConAgra Foods facility which encompasses these three properties led to the required replat and request for additional right-of-way; and staff recommends that the Planning Commission make a positive recommendation to the City Council to dedicate 0.769 acres of Inlot 6209 and Part of Inlot 6210 as right-of-way.

A motion was made by Mayor Oda, seconded by Mr. Titterington, that the Troy Planning Commission approves the Conagra Plat And dedication of right-of-way and recommends approval and dedication of 0.769 acres of Inlot 6209 and Part Inlot 6210 as right-of-way as shown on the Conagra Plat.

MOTION ADOPTED, UNANIMOUS ROLL CALL VOTE

REZONING APPLICATION, SWANK ANNEXATION, 2980 W. FENNER ROAD, IL 11560, IL 11561, AND IL 11562, FROM CITY ADMINISTERED COUNTY ZONING OF A-1 DOMESTIC AGRICULTURE TO THE CITY ZONING OF R-4, SINGLE FAMILY RESIDENCE DISTRICT WITH A MINIMUM LOT SIZE OF 9,000 SQUARE FEET. OWNER/APPLICANT – MONTE SWANK.

Staff reported: Owner, Monte Swank, has requested the City zoning of his annexed property at 2980 W. Fenner Road, Inlot 11560 (20.017 Acres), Inlot 11561 (28.787 Acres), and Inlot 11562 (9.994 Acres); properties are located on Fenner Road north of the Edgewater Subdivision; they are currently zoned City Administered County Zoning due to annexation (O-12-2023); the land is currently used as agriculture and located north of the Edgewater Subdivision; surrounding zoning districts include: R-4 Single Family to the south, County zoning of A-1 Domestic Agriculture to the east, and County Zoning of A-2 and A-1 to the north. Please see exhibit A Zoning Map.

DISCUSSION:

The Zoning Code describes the proposed R-4 zoning district as "designed to accommodate single-family dwellings on lots with areas of at least nine thousand (9,000) square feet per dwelling unit. This district will be mapped to protect areas that now meet these minimum lot sizes and for comparable areas which will develop in the future. The Comprehensive Plan describes the R-4 District as medium to high density." The Comprehensive Plan's Future Land Use Map displays this property as future residential.

In reviewing a rezoning proposal, Section 1139.07 outlines the criteria on which to base decisions:

(A) Whether the change in classification would be consistent with the intent and purpose of this Zoning Code.

The proposed rezoning is consistent with the Zoning Code. Section 1131.02(c) & (r) state the purposes of the Zoning Code are to preserve and enhance property value, and direct particular land uses to the parcel of land best suited for them. The proposed rezoning request achieves these purposes.

(B) Whether the proposed amendment is made necessary because of changed or changing conditions in the area affected, and, if so, the nature of such changed or changing conditions.

The proposed rezoning is not made necessary because of changing conditions in the affected area. The proposed use will not have any adverse effects in the area and is similar to the residential uses that currently exist to the south.

(C) Whether the uses that would be permitted on the property if it were reclassified would be compatible with the uses permitted on other property in the immediate vicinity.

The proposed use is compatible and similar to the residential uses that currently exist to the south in the Kensington Subdivision and the Edgewater Subdivision.

(D) Whether adequate utility, sewer, and water facilities, and all other needed public services exist or can be provided to serve the uses that would be permitted on a property if it were reclassified.

Adequate utilities can be provided to the reference property.

(E) The amount of vacant land that currently has the same zoning classification as is proposed for the subject property, particularly in the vicinity of the subject property, and any special circumstances, in any, that make a substantial part of such vacant land unavailable for development.

In the vicinity of the subject property, there is no unavailable vacant land for development with the R-4 zoning classification.

(F) Whether the proposed amendment would correct an error in the application of this Zoning Code as applied to the subject property.

Not applicable in this request.

PUBLIC HEARING:

Due to the straightforward nature of the rezoning request, the compliance with the intent of the Zoning Code and Comprehensive Plan, and the fact that City Council is required to hold a public hearing if the request proceeds on, staff does not feel that a public hearing before the Planning Commission is warranted.

RECOMMENDATION:

It is staff's opinion that the proposed rezoning will achieve the desired development. Staff is recommending that the Planning Commission recommend approval of the proposed rezoning from City Administered County Zoning to R-4 Single-Family Residential, based on the following:

1. The proposed rezoning is consistent with the intent and purposes of the City of Troy Zoning Code; and
2. The proposed rezoning is consistent with the surrounding zoning districts; and
3. The proposed rezoning complies with the Comprehensive Plan Future Land Use.

PUBLIC HEARING: A motion was made by Mr. Titterington, seconded by Mrs. Ehrlich, that the Planning Commission not hold a public hearing on the proposed rezoning, as recommended by staff.

MOTION ADOPTED, UNANIMOUS ROLL CALL VOTE

RECOMMENDATION: A motion was made by Mayor Oda, seconded by Mrs. Ehrlich, that the Troy Planning Commission recommends to Troy City Council that the property at 2980 W. Fenner Road, consisting of Inlot 11560 (20.017 acres), Inlot 11561 (28.787 acres), and Inlot 11562 (9.994 acres) be rezoned from the County Zoning of A-1 Domestic Agriculture, to the City zoning of R-4, Single Family Residence District, as submitted and based on the findings of staff that:

- o The proposed rezoning is consistent with the intent and purposes of the City of Troy Zoning Code;
- o The proposed rezoning is consistent with the surrounding zoning districts;
- o The proposed rezoning complies with the Comprehensive Plan Future Land Use.

MOTION ADOPTED, UNANIMOUS ROLL CALL VOTE

OTHER: Staff commented that the October 25 meeting should include a lengthy discussion regarding the update of the Comprehensive Plan. It was suggested that there not be other agenda items for this meeting.

There being no further business, the meeting adjourned at 3:38 p.m. upon motion of Mrs. Ehrlich, seconded by Mr. Titterington, and approved by unanimous voice vote.

Respectfully submitted,

Chairman

Secretary

MEMORANDUM

TO: Planning Commission

FROM: Austin Eidemiller, Planning & Zoning Manager

DATE: October 11, 2023

SUBJECT: Addison Landing Subdivision

REQUEST:

Jeff Puthoff, Choice One Engineering, has applied for Planning Commission to consider a new single-family subdivision located along Dorset Road and Lytle Road (Parcel ID's: D08-106896 and D08-107408). The land is currently undeveloped and is located north of the Brook Park Subdivision. The land is currently controlled by First Troy Corp.

PROPOSAL:

City Council approved a rezoning request on this parcel from City Administered County Zoning to City of Troy Zoning of R-5 Single Family Residential (minimum lot size of 6,000 square feet). The applicant wishes to create a new subdivision named Addison Landing. The submitted preliminary plan is the first step of the approval process. Should the proposed subdivision move forward, a Final Plat will follow to create the lots and to dedicate the streets and public utilities (in this case, a four-phase development is proposed). Detailed engineering drawings will be required to be submitted for review and approval by the Development and Engineering staff. The Final Plat will be reviewed by Planning Commission who will make a recommendation to City Council. Council ultimately will have final approval of the Final Plat.

Uses & Layout: The proposed subdivision, which consists entirely of single-family homes, encompasses 55.8 acres and includes 208 buildable lots that range from 0.149 acres to 0.338 acres and will be developed in four-phases. The first phase will create 51 lots and the second phase will create 55 lots.

Roadways: Access to this development will be provided by two separate points. The east access point is located off of the expanded Dorset Road will serve as the main entrance to the proposed subdivision. The remaining access point is located to the west of the proposed development off of Lytle Road. The internal roadway system consists of three cul-de-sacs (Addie Court, Cameron Court, and Blair Court) which stem off the main road named Addison Landing Drive. The City Engineer and Assistant Fire Chief have reviewed the street layout and indicated they have no issues with the proposal.

Utilities: This development will be served by city water and sewer lines. The plan seeks to mitigate storm water control by utilizing a 5.4 acre infiltration basin on the northeast corner of the development. Maintenance of storm water control facilities (including drainage swales) will be the responsibility of the Homeowners Association.

Parkland: The developer is proposing to provide private open space (15.95%) within the subdivision and received a unanimous positive recommendation from the Park Board.

Easements: A landscape easement has been provided along Dorset Road to prevent properties from having direct access and to buffer the properties from the expanded Dorset Road. A storm sewer & drainage easement is proposed along the north side of the development for a drainage swale. Easement areas are the responsibility of the Homeowners Association.

RECOMMENDATION:

Staff recommends that Planning Commission accept the proposed preliminary plan as it is in accordance with the Zoning Code, Subdivision Regulations, and other engineering standards.



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City of Troy, Ohio
Engineering Department &
Development Department

SUBDIVISION APPLICATION

☐ Minor Subdivision (5 or fewer lots splits) ☒ Major Subdivision (6 or more lot splits)

☒ Preliminary Plan (\$50 +\$1/lot) ☐ Final Record Plat-(\$65+\$1/lot) and
☐ Final Plat Construction Plan Fee: 0.5% of total cost of public improvements

Subdivision Name: Addison Landing Section: 1

Location: Lytle Road

Owner/ Developer: Lytle Road Developers, LTD

Address: 3445 Newmark Drive, Miamisburg OH 45342

Phone: 937-974-1861 Email: rhall@Oberer.com

Engineering Firm Name: Choice One Engineering.com

Address: 440 Hoewisher Road Sidney OH 45365

Phone: 937-497-0200 Email: jsp@choiceoneengineering.com

Contractor (If known): _____

Primary Contact: _____

Address: _____

Phone: _____ Email: _____

Type of Development:

☒ Residential Single Family ☐ Residential Multi-Family ☐ Commercial ☐ Industrial ☐ Mixed Use

Current Zoning District(s): R-5 Rezoning Needed: ☐ Yes ☒ No

Number of Lots/Units proposed: 207 Area of Parcel: 55.800 Ac. Area of Streets: 8.906 Ac.

Largest Parcel Size: 0.402 Ac. Smallest Parcel Size: 0.149 Ac

Flood Zone: ☐ Yes* ☒ No

* If Yes, a Flood Hazard Area Development Application must be completed and accompany this application.

Park Area: 1.732 Ac. ☒ Land to be Dedicated ☐ Park Fees-in-Lieu of Dedication

Security: ☐ Performance Bond ☐ Escrow Agreement ☐ Cash ☐ Mortgage Land ☐ Letter of Credit

100 South Market Street, Troy, OH 45373

Make it yours.





GENERAL REQUIREMENTS FOR SUBDIVISION SUBMISSIONS

- *Consultation.* It is recommended that the subdivider and/or the subdivider's engineer consult with the subdivision review staff while the subdivision plan is still in sketch form and before a Preliminary Plan or Final Record Plat is prepared, in order to become better acquainted with the requirements of these Subdivision Regulations and related ordinances, including but not limited to the City Comprehensive Plan, subdivision design criteria, approval procedures, the subdivider's contract, performance and maintenance guarantees, related projects, relevant zoning, erosion control and street cleaning requirements.

- *Drawing and legal description.* A drawing based upon a survey showing the location of the property and giving dimension and other such information as may be necessary, and a legal description in writing must be submitted with the request.

- *Approval.* Upon receipt of the drawing, legal description, and right-of-way conveyance, the City Engineer shall determine to its satisfaction that the proposed lot split is not contrary to any applicable platting. The developer is responsible for the recording of plat. No plat of any subdivision shall be recorded with the County or have any validity until approved in the manner prescribed within the City of Troy Subdivision Regulations.

- *Prohibitions.* No person seeking to create or having created a subdivision within the jurisdiction of these Subdivision Regulations shall commence any construction within the subdivision until such person has obtained approval of the final plat of the subdivision from the City and the required signatures of City officials have been endorsed thereon. No lot may be sold within the subdivision until the approved final plat has been duly recorded in the records of the County.

- *Noncomplying Subdivisions.* The City reserves the right to deny public services within its control to any subdivision, whether complete or incomplete, which is not in compliance with these regulations, including but not limited to the issuance of building permits, street maintenance, utility maintenance, sewer and water service, and refuse collection. The City may also deny connection to existing streets and utilities. No lot may be sold within the subdivision until the approved final record plat has been duly recorded in the records of the County.

- *Fees* are fixed by the City Council and shall be due and payable at the time of submission and before review by the subdivision review staff.

- *Submittals* by the applicant/subdivider/developer may submit a Preliminary Plan(s) for review and tentative approval prior to the formulation and submittal of final record plat as set forth in Section 1115.02 or 1119.02. Recognizing that there can be many surrounding facts and circumstances influencing the pace at which review and approval may be achieved, the Planning Commission shall process all such applications with diligence and reasonable speed. The Preliminary Plan is reviewed for the applicant/subdivider/developer's benefit and at his discretion, and its submission does not constitute a formal subdivision review pursuant to Section 711.09 of the Ohio Revised Code.





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City of Troy, Ohio
Engineering Department &
Development Department

With the submission of the Preliminary Plan, the applicant waives any right for an approval due to the passage of time under Section 711.09 of the Ohio Revised Code and Section 1115.02 or 1119.02 of the Troy Codified Ordinances until such time as application is made for final subdivision plat review and is submitted to the Planning Commission for review and approval as detailed in these regulations. Preliminary plan review is the recommended procedure.

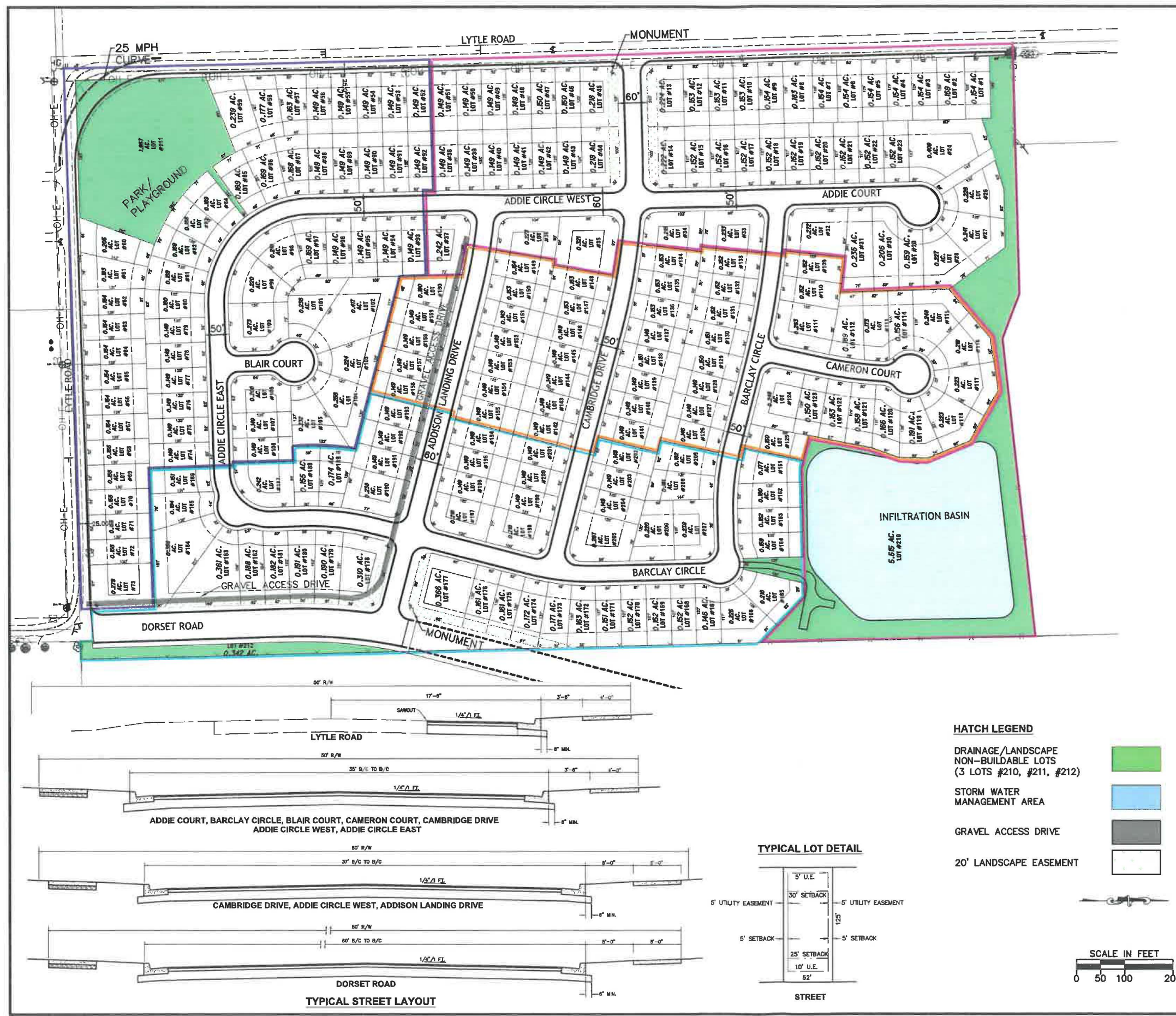
By signing this application, I acknowledge I am authorized by the owner to make this application. The information presented is accurate. I agree to allow City of Troy employees to enter the property in order to complete necessary inspections. I agree to conform to all applicable laws of the City. The City of Troy does not enforce covenants and restrictions.

Signature:  Date: 8-15-23
Name (print): Robert L. Hall III

100 South Market Street, Troy, OH 45373

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CLUSTER MAILBOX ▲

PROP. EASEMENTS - - - - -

PROP. SETBACKS

TOTAL AREA: 55.800 ACRES
TOTAL GREEN SPACE: 7.814 ACRES (14.00%)
PROPOSED ZONING: R-5 SINGLE-FAMILY RESIDENTIAL DISTRICT
MIN. LOT SIZE: 6,000 S.F. PER ZONING, 6,500 S.F. PER PLAN
MIN. FRONTAGE: 52'
FRONT SETBACK: 25'
REAR SETBACK: 30'
SIDE SETBACK: 5'
NUMBER OF RESIDENTIAL LOTS: 209
NUMBER OF DRAINAGE/LANDSCAPE LOTS 3
(DRAINAGE/LANDSCAPE, NON-BUILDABLE LOTS #210, #211, #212)
TYPICAL LOT SIZE: 52'x125'
NEW STREETS: 6,295'
STREET R/W: 50' OR 60' (SEE PLAN VIEW)
50' R/W STREET WIDTHS: 35'
60' R/W STREET WIDTHS: 37'
80' R/W STREET WIDTHS: 60'
-TEMPORARY GRAVEL CONSTRUCTION ACCESS WILL BE PROVIDED FROM DORSET ROAD. SEE HATCHED LOCATION.
-LOTS #59 AND #60, DRIVEWAYS SHALL BE AT THE FURTHEST POINT AWAY FROM LOT #211.
-NO DRIVEWAYS WILL BE PERMITTED OFF DORSET ROAD AND ENTRANCE OF CAMBRIDGE DRIVE (LOTS #13, #14, #44, #45) AND ADDISON LANDING DRIVE (LOTS #177, #178).
-THE BILLBOARD THAT ENCLOSES SECTION 1 WILL BE REMOVED WITH SECTION 1.
-DORSET ROAD AND LYTLE ROAD WILL BECOME A TEE INTERSECTION WHEN PHASE 4 IS DEVELOPED.
-NO PARKING WILL BE ALLOWED ON LYTLE ROAD IN FRONT OF LOTS #13 AND #45.
-DESIGN SPEED OF CURVE ON DORSET ROAD IS 45MPH.
-DRIVEWAYS FOR LOTS #13, #45, #176, AND #177 SHALL BE PLACED FURTHEST FROM THE INTERSECTION AS POSSIBLE.

- PHASE 1
TOTAL LOTS: 51
NEW STREETS: 1,656'
- PHASE 2
TOTAL LOTS: 57
NEW STREETS: 1,051'
- PHASE 3
TOTAL LOTS: 52
NEW STREETS: 1,558'
- PHASE 4
TOTAL LOTS: 49
NEW STREETS: 2,030'

OWNER: LYTLE ROAD DEVELOPERS, LTD
3445 NEWMARK DRIVE
MIAMISBURG, OH 45342
ROBERT HALL
RHALL@OBERER.COM

ENGINEER: CHOICE ONE ENGINEERING
937-497-0200
440 E. HOEWISHER ROAD, SIDNEY, OH 45365

HATCH LEGEND

DRAINAGE/LANDSCAPE NON-BUILDABLE LOTS (3 LOTS #210, #211, #212)

STORM WATER MANAGEMENT AREA

GRAVEL ACCESS DRIVE

20' LANDSCAPE EASEMENT

TYPICAL LOT DETAIL

5' UTILITY EASEMENT

30' SETBACK

125'

5' UTILITY EASEMENT

25' SETBACK

10' U.E.

52'

STREET

SCALE IN FEET

0 50 100 200



Choice One Engineering

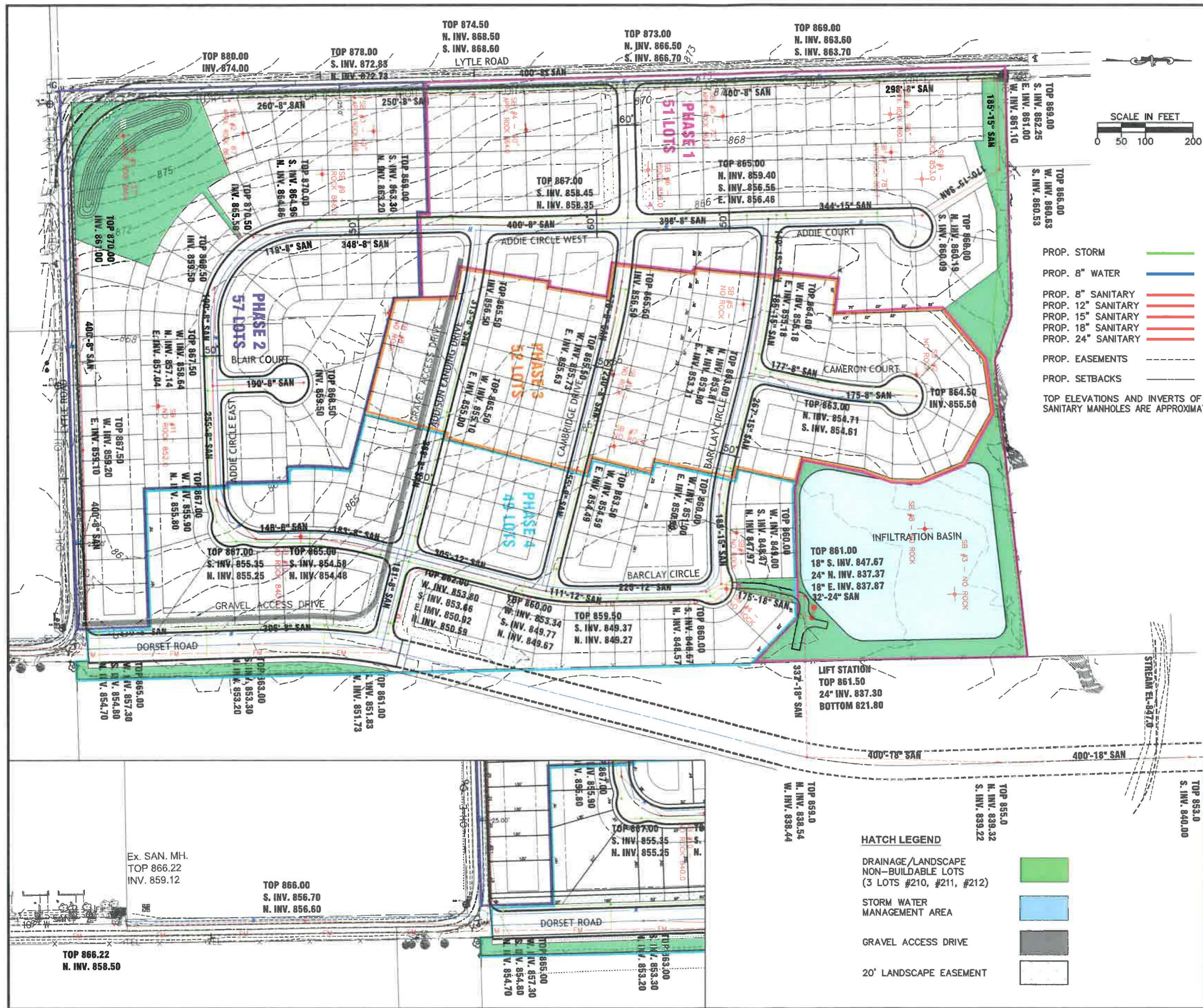
SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554
WWW.CHOICEONEENGINEERING.COM

**ADDISON LANDING
CITY OF TROY**

PRELIMINARY PLAT LOT LAYOUT

REVISIONS:

FILE NAME	PREL. PLAT
DRAWN BY	brg
CHECKED BY	JSP
PROJECT No.	MIATRO2105
DATE	10-05-2023
SHEET NUMBER	1 OF 3



TOTAL AREA: 55.800 ACRES
TOTAL GREEN SPACE: 7.814 ACRES (14.00%)
PROPOSED ZONING: R-5 SINGLE-FAMILY RESIDENTIAL DISTRICT
MIN. LOT SIZE: 6,000 S.F. PER ZONING, 6,500 S.F. PER PLAN
MIN. FRONTAGE: 52'
FRONT SETBACK: 25'
REAR SETBACK: 30'
SIDE SETBACK: 5'
NUMBER OF RESIDENTIAL LOTS: 209
NUMBER OF DRAINAGE/LANDSCAPE LOTS 3
(DRAINAGE/LANDSCAPE, NON-BUILDABLE LOTS #210, #211, #212)
TYPICAL LOT SIZE: 52'X125'
NEW STREETS: 6,295'
STREET R/W: 50' OR 60' (SEE PLAN VIEW)
50' R/W STREET WIDTHS: 35'
60' R/W STREET WIDTHS: 37'
80' R/W STREET WIDTHS: 60'
-TEMPORARY GRAVEL CONSTRUCTION ACCESS WILL BE PROVIDED FROM DORSET ROAD. SEE HATCHED LOCATION.
-LOTS #59 AND #60, DRIVEWAYS SHALL BE AT THE FURTHEST POINT AWAY FROM LOT #211.
-NO DRIVEWAYS WILL BE PERMITTED OFF DORSET ROAD AND ENTRANCE OF CAMBRIDGE DRIVE (LOTS #13, #14, #44, #45) AND ADDISON LANDING DRIVE (LOTS #177, #178).
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NEW STREETS: 2,030'

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HATCH LEGEND

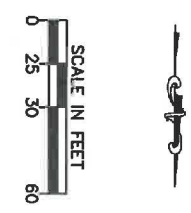
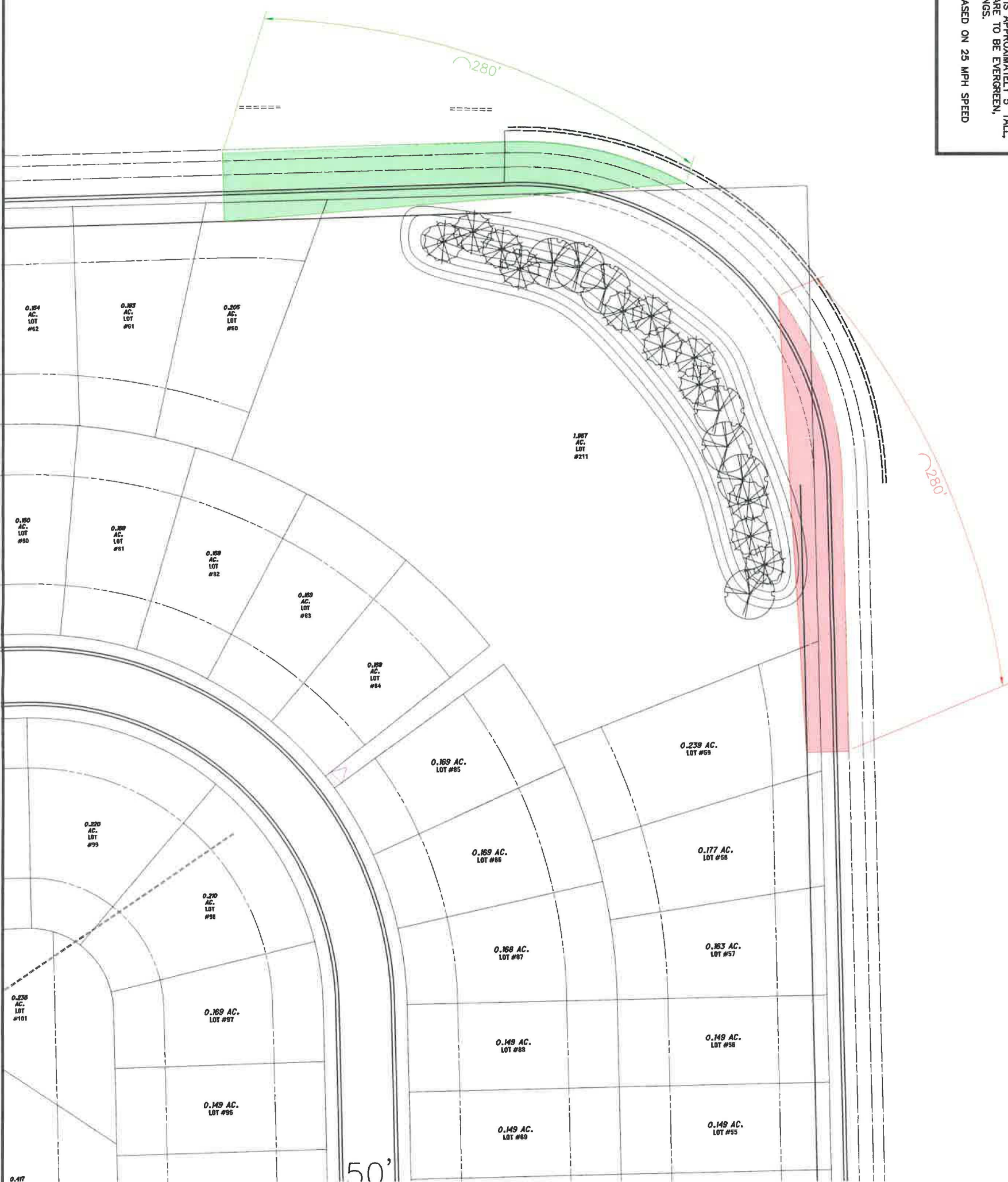
DRAINAGE/LANDSCAPE
NON-BUILDABLE LOTS
(3 LOTS #210, #211, #212)

STORM WATER
MANAGEMENT AREA

GRAVEL ACCESS DRIVE

20' LANDSCAPE EASEMENT

PROPOSED MOUND IS APPROXIMATELY 5' TALL.
MOUND PLANTING ARE TO BE EVERGREEN,
DECIDUOUS PLANTINGS.
ISD CALCULATED BASED ON 25 MPH SPEED
LIMIT



MEMORANDUM

TO: Planning Commission

FROM: Austin Eidemiller, Planning & Zoning Manager

DATE: October 11, 2023

SUBJECT: Somerset Reserve Subdivision – General Plan

DISCUSSION:

A request by the applicant DDC Management LLC on behalf of the owner Ann Huegel and Charles Isern for the Planning Commission to consider a General Plan approval for a Planned Development on 3054 W Market Street Part Inlot 11550 (Parcel 4 of Plat of Survey Vol. 62 Page 3) which consist of 58.093 acres and located along W. Market Street and Nashville Road.

The established zoning on this property is Agricultural-Residential. The property is undeveloped and currently being used for agricultural purposes. The surrounding zoning districts include: R-4 Single Family, Planned Unit Development, and R-2 Single Family Residential to the east. County Zoning of A-2 General Agriculture is present to the west, north, and south. Please see attached Exhibit A Zoning Map.

This submittal of the General Plan is the first step of the approval process. Each phase of development will require a Final Development Plan and Record Plan in order to create the lots to be sold and to dedicate the streets and public utilities (in this case, a three-phase development is proposed). Detailed engineering drawings will be required to be submitted for review and approval by the Development and Engineering staff. The Record Plan will be reviewed by Planning Commission who will make a recommendation to City Council. Council ultimately will have final approval of the Record plan.

PROPOSAL:

Uses & Layout: The proposed development will be completed in three (3) phases. The first phase of the development consists of 67 single-family residential lots which will be created on the west side of Nashville Road. The second phase will consist of 49 single-family residential lots. The final phase consists of 73 single family lots. The total density for the three phases will include 3.25 units per acre.

Roadways: Access to this development will be provided by two connections, one connection from Nashville Road which is aligned with Huntington Drive. The second access point will be from W. Market Street. A future third access point is stubbed on the south side of the development to the future Swailes Road connector. The development will provide private streets that will be accessed via access easements. Maintenance of the private streets will be the responsibility of the Homeowners Association (HOA). The City Engineer and Assistant Fire Chief have reviewed the street layout and have indicated they have no issues with the proposal.

Road Improvements include a realigned Nashville Road and widened W. Market Street. Future Right-of-Way is being proposed on the south side of the development for a Swailes Road connection in accordance with the Thoroughfare Plan. The Nashville Road realignment and Swailes Road connection are referenced in Figure 8-2 of the Comprehensive Plan. Please see Exhibit B (Figure: 8-2 Thoroughfare Plan).

Utilities: This development will be served by city water and sewer lines. Sanitary sewer is being expanded on the north side of W. Market Street to the boundary of the development. The plan seeks to mitigate storm water control by utilizing two storm water ponds throughout the development. Maintenance of these private storm water control facilities will be the responsibility of the HOA.

Parks & Recreation Facilities: This Planned Development proposes a total of 12.54 acres (21.6%) of private open space. The Zoning Code requires 10% of the entire acreage in the development to be used as open space. The proposed development has met the open space requirement for a Planned Development. Walking trails are being provided around both stormwater ponds with playground equipment on the south side of the development. Maintenance of the walking paths and playground equipment will be the responsibility of the HOA.

Protective Covenants: Staff will require the Protective Covenants and Restrictions be provided during the the Final Record Plat submittal of this development. The Final Record Plat does require Planning Commission and City Council Approval.

Comprehensive Plan: The Comprehensive Plan's Future Land Use Map (Figure 14-5) displays this property as future industrial with a Neighborhood Commercial portion on the realigned Nashville/Wilson Road. However, it is important to note that the Comprehensive Plan was adopted in 2005 and is currently in the process of being updated. The Comprehensive Plan states "General residential is indicated south of Swailes Road and Nashville Road because of existing residential development and poor access to major roads or to I-75, these areas are most suitable for residential development to commensurate with City housing needs..."

It is important to note that City Council approved the rezoning of this parcel to A-R Agricultural Residential by O-28-2023.

GENERAL PLANS STANDARDS:

Section 1145.16 of the Zoning Code requires that Planning Commission review the proposed General Plan and may recommend the General Plan to City Council if it determines that the plan satisfies, at a minimum, all of the following criteria:

- (1) The General Plan should follow to the maximum extent practicable the Comprehensive Plan for the City, taking into account current facts and circumstances; **displays this property as future industrial with a Neighborhood Commercial portion on the realigned Nashville/Wilson Road. However, it is important to note that the Comprehensive Plan was adopted in 2005 and is currently in the process of being updated. The road improvements are in accordance with Figure 8-2 Thoroughfare Plan.**
- (2) An exemption to conventional zoning is justified because the Comprehensive Plan for the City can be more faithfully and reliably implemented by the use of PD zoning; **The**

- (3) exemption to conventional zoning is justified as the development will fill a need for this style of development inside the City.
- (4) The General Plan is compatible with the location, topographic and other characteristics of the site and will bear a beneficial relationship with surrounding land uses in terms of noise, smoke, dust, debris, or other nuisances; The Plan is compatible with these characteristics.
- (5) The General Plan is carefully designed to support surrounding streets, utilities and other public improvements; The public improvements have been designed to meet city recommendations (water, sewer, and road improvements). The majority of the infrastructure (streets and storm water will be privately owned and maintained).
- (6) The General Plan represents an efficient and economic use of the land in view of the community's need for a balance of land uses; The proposed use does fill a need in the market for this type of development.
- (7) All public streets, utilities and services necessary to carry out the General Plan are available to the site, or will be extended or improved by the developer and/or City in time to permit the development to be properly served; The public improvements will be installed to permit the development to be properly served. The road improvements are in accordance with Figure 8-2 Thoroughfare Plan. Sewer is being expanding on the north side of W. Market Street for the boundary of the development.
- (8) Exception from conventional zoning is warranted by design goals or other criteria and/or the need to provide a variety of development opportunities within the community; An exemption is warranted from regular zoning as this PD proposes to provide different housing options for the community.
- (9) The design of the development protects natural assets such as streams, wood lots, steep terrain, and other critical environments in the City; Not applicable in this request.
- (10) Taken as a whole the development of the proposed PD will have a positive effect on the health, safety, and general welfare of the City; The proposed PD will create a positive effect on the community and will provide additional housing options.
- (11) The General Plan appears capable of being implemented by a Final Development Plan which meets all requirements of this Section. The General Plan is capable of implementation by a Final Development Plan.

ZONING CODE:

In reviewing a rezoning proposal, Section 1139.07 outlines the criteria on which to base decisions:

(A) Whether the change in classification would be consistent with the intent and purpose of this Zoning Code.

The rezoning would be consistent with the following sections of the Zoning Code:

1131.02 (g) "To provide for creatively designed single-use and mixed-use Planned Developments, and to preserve their character and vitality through ongoing regulatory supervision."

1131.02 (k) "To facilitate the efficient and economical development and use of land and public facilities."

(B) Whether the proposed amendment is made necessary because of changed or changing conditions in the area affected, and, if so, the nature of such changed or changing conditions.

No changes in the area have created this rezoning request.

(C) Whether the uses that would be permitted on the property if it were reclassified would be compatible with the uses permitted on other property in the immediate vicinity.

The proposed use of the property is compatible with the other uses in the immediate vicinity. Abutting the eastern and northern property lines are residential developments with the same uses as proposed.

(D) Whether adequate utility, sewer, and water facilities, and all other needed public services exist or can be provided to serve the uses that would be permitted on a property if it were reclassified.

The proposed PD can and will be served by City water and sewer. All other public services can be provided with the proposed rezoning area.

(E) The amount of vacant land that currently has the same zoning classification as is proposed for the subject property, particularly in the vicinity of the subject property, and any special circumstances, in any, that make a substantial part of such vacant land unavailable for development.

The property is surrounded by developed land to the east, and northeast that hold residential zoning districts. There is no other land that holds the proposed PD zoning district designation with the vicinity.

(F) Whether the proposed amendment would correct an error in the application of this Zoning Code as applied to the subject property.

Not applicable in this request.

RECOMMENDATION:

Staff recommends that Planning Commission provide a positive recommendation to City Council to approve this request for PD Planned Development zoning and General Plan subject to the following conditions on the General Plan:

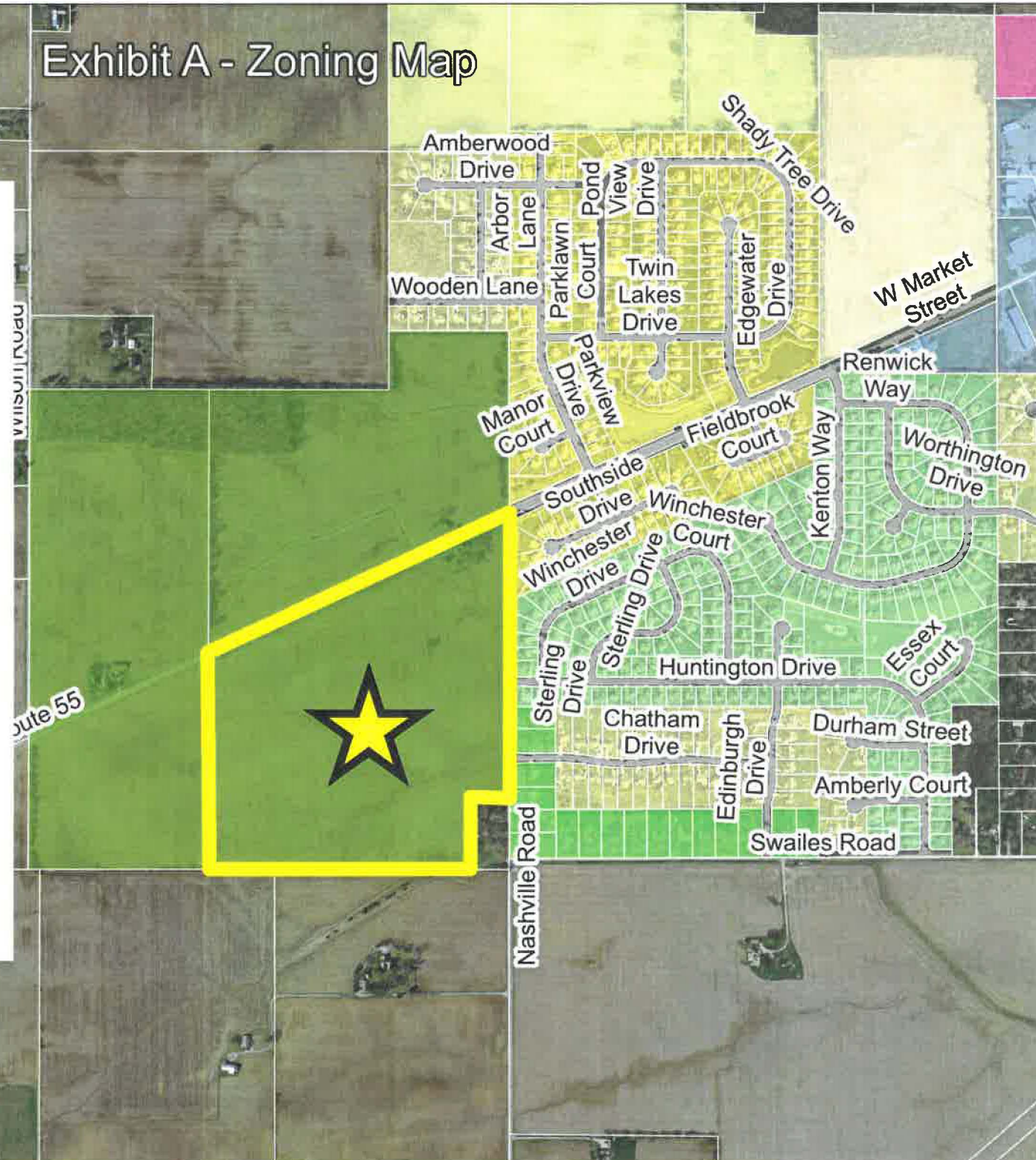
1. A second egress is established and maintained for each phase in accordance with the Troy Fire Department; and,

The proposed rezoning is found to be consistent with the intent and purposes of the City of Troy Zoning Code, Comprehensive Plan and with similar zoning classifications and uses in the area.

Exhibit A - Zoning Map

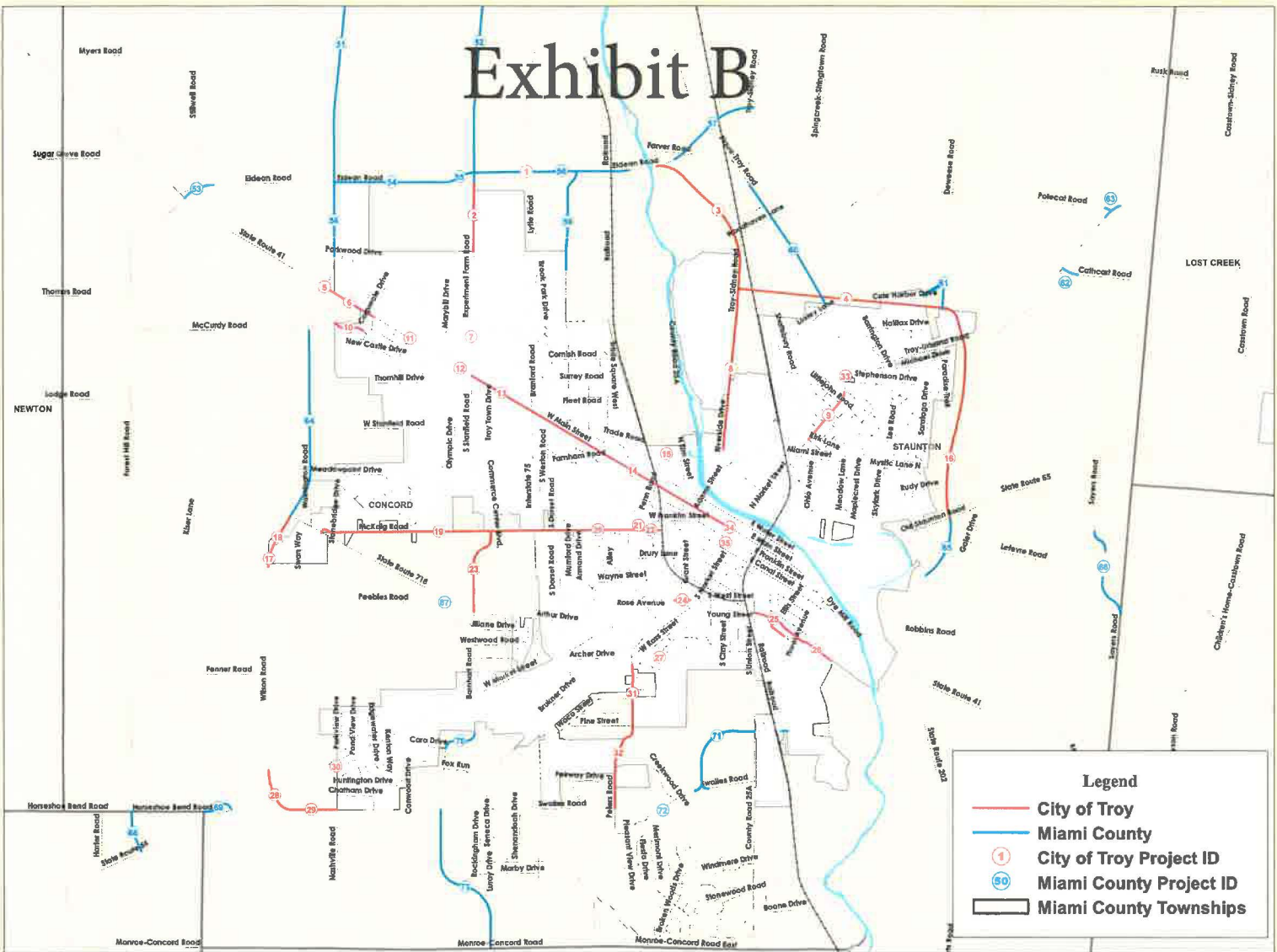
Legend

-  County Zoning (Outside Troy)
-  Agriculture: 20 Acre Min.
-  Agriculture-Residential: 5 Acre Min.
-  R-1 Single Family Residential: 40,000 SqFt.
-  R-2 Single Family Residential: 20,000 SqFt.
-  R-3 Single Family Residential: 15,000 SqFt.
-  R-3B Single Family Residential: 12,000 SqFt.
-  R-4 Single Family Residential: 9,000 SqFt.
-  R-5 Single Family Residential: 6,000 SqFt.
-  R-6 Two Family Residential: 3,000 SqFt/2DU
-  R-7 Multiple Family Residential: 3,000 SqFt./DU
-  OR-1 Office-Residential: 3,000 SqFt./DU
-  OC-1 Office-Commercial District
-  B-1 Local Retail District
-  B-2 General Business District
-  B-3 Central Business District
-  B-4 Highway Service Business District
-  M-1 Planned Industrial District
-  M-2 Light Industrial District
-  M-3 General Industrial District
-  PUD Planned Unit Development
-  WO Wellhead Operation District
-  City Administered County Zoning



NORTH

Exhibit B



CITY OF TROY

Project ID	LRTP_ID*	PROJECT NAME
1	533	Northern Access Interchange Feasibility Study between State Route 41 and County Road 25-A
2	113	Experiment Farm Road Widening from Corporate Drive to Eldean Road
3	509A	Northern Connector (Ph 1) from County Road 25-A to Troy-Sidney Road
4	509B	Northern Connector (Ph 2) from Troy-Sidney Road to Troy-Urbana Road
5		Washington Road Realignment at State Route 41
6	96	State Route 41 Widening from Kings Chapel Dr to Washington Rd
7		Experiment Farm Road and Towne Park Drive Signalization
8	530	Riverside Drive Widening from Community Park to northern Duke Park
9		North Market Street (Ph 2) Improvements from Foss Way/Kirk Lane to Stonyridge Avenue
10		Executive Drive Extension to Old Washington Bend Court
11		State Route 41 and Kings Chapel Drive Signalization
12	537A	State Route 41 Traffic Signal Interconnect (Ph 2) with Dorset Road & Marybill Drive
13	371	State Route 41 Widening from Experiment Farm Road to I-75
14		State Route 41 Improvements from I-75 to Cherry Street
15		Atlantic Street Cul-De-Sac
16	509C	Northern Connector (Ph 3) from Troy-Urbana Road to State Route 55
17		Wilson Road Curve Realignment south of State Route 718
18		Washington Road and Wilson Road Realignment at State Route 718
19	121	McKaig Road Widening (Ph 5) from Dorset Road to Cartwright Court
20		McKaig Road Improvements (Ph 4) from I-75 to Alley west of Lake
21		Ridge Avenue and McKaig Avenue Realignment
22		McKaig Road Improvements (Ph 3) from Alley west of Lake to Madison Street
23	103	Commerce Center Boulevard Extension (Ph 3) from McKaig Road to State Route 718
24		West Street Extension from Garfield Street to Grant Street
25		Williams Street Extension to Patton Street and Jeep Street
26		Floral Avenue Extension to Dye Mill Road
27		Southview Drive Bridge Connector
28		Wilson Road Realignment at State Route 55
29	507	Swalles Road Extension from Nashville Road to State Route 55
30		Nashville Road Realignment at State Route 55
31	508A	Peters Road Widening (Ph 1) from Dickerson Drive to Premwood Drive
32	508B	Peters Road Widening (Ph 2) from Premwood Drive to Swalles Road
33		N Market Street & Troy-Urbana Road Signalization
34		Streetscape - W Main Street from Cherry Street to Plum Street
35		Streetscape - S Market Street from Franklin Street To Canal Street

MIAMI COUNTY

Project ID	LRTP_ID*	PROJECT NAME
50	517B	Farrington Road Widening (Ph 2) from Experiment Farm Road to Washington Road
51	516C	Washington Road Widening (Ph 3) from Eldean Road to Farrington Road
52	532	Experiment Farm Road Widening from Eldean Road to Farrington Road
53		Eldean Road and Forest Hill Road Realignment at State Route 41
54	512B	Eldean Road Widening (Ph 2) from Washington Road to Experiment Farm Road
55	113A	Eldean Road and Experiment Farm Road Realignment
56	512A	Eldean Road Widening (Ph 1) from Washington Road to County Road 25-A
57		Eldean Road Realignment from Covered Bridge to Troy-Sidney Road (across Railroad)
58	516B	Washington Road Widening (Ph 2) from State Route 41 to Eldean Road
59		Dorset Road Realigned Extension to Eldean Road
60	514	Piqua-Troy Road Widening from Corp Limit to Troy-Sidney Road
61		Realign Deweese Road at Northern Connector (Ph 2) and add cul-de-sac
62		Cathcart Road Realignment at Troy-Urbana Road
63		Polecat Road Realignment at Troy-Urbana Road
64	516A	Washington Road Widening (Ph 1) from State Route 718 to State Route 41
65		State Route 202 and State Route 55 Realignment
66		Sayers Road Realignment at Lefevre Road
67		Peebles Road Realignment at State Route 718
68		Forest Hill Road Extension to State Route 55
69		Horseshoe Bend Road Realignment at State Route 55
70		Barnhart Road Curve Realignment south of State Route 55
71		Dye Mill Road Extension from County Road 25A to Swalles Road
72		Swalles Road Curve Realignment
73		Barnhart Road Extension from Swalles Road to Monroe-Concord Road

* LRTP_ID Long Range Transportation Plan Project Identification Number

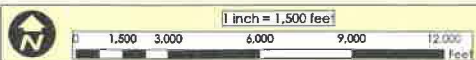


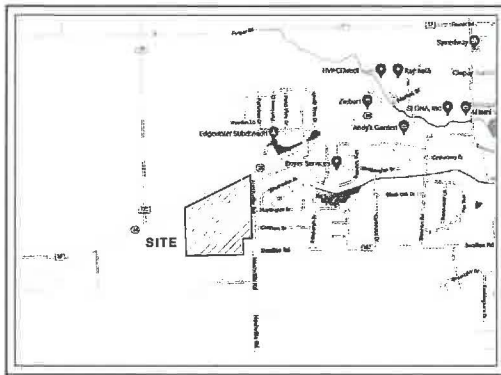
Figure: 8-2 Thoroughfare Improvements

City of Troy
Engineering Department

100 S Market Street
Troy, Ohio 45373
Date: 11/17/2016

PRELIMINARY/GENERAL PD PLAN SOMERSET RESERVE

STATE ROUTE 55 AND NASHVILLE ROAD
CITY OF TROY
MIAMI COUNTY, OHIO
SECTION 36, TOWN 7, RANGE 5E
SEPTEMBER 12 2023



VICINITY MAP
NTS

NOTES:

- ALL LOTS WILL CONTAIN SINGLE-FAMILY, DETACHED RESIDENCES.
- THE SITE WAS PREVIOUSLY FARMLAND.
- WATER SUPPLY TO BE BY CITY OF TROY.
- WASTEWATER DISPOSAL TO BE BY THE CITY OF TROY.
- STORM WATER SHALL COMPLY WITH THE CITY OF TROY STANDARDS AND OEPA.
- ALL STORM SEWER MAINS ARE PRIVATE UNTIL STORM WATER OUTFALLS.
- ALL INTERNAL STREETS ARE TO BE PRIVATE STREETS OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- STREET LIGHTING SHALL BE PROVIDED TO CITY OF TROY STANDARDS AND IN COORDINATION WITH ELECTRIC UTILITY.
- LANDSCAPING AND MOUNDING WILL BE PROVIDED ALONG SR 55 AND FUTURE SWALES RD PER CITY OF TROY ZONING CODE WITH A MINIMUM 4' MOUNDING AND TREE EVERY 100 FT. A SITE SPECIFIC LANDSCAPING PLAN WILL BE PROVIDED AT THE FINAL DEVELOPMENT PLAN.
- A MINIMUM OF ONE (1) TREE IN THE FRONT YARD WILL BE PROVIDED PER LOT.
- THE OPEN SPACE AREAS AND RECREATIONAL FACILITIES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- LOT 194 IS RIGHT-OF-WAY TO BE DEDICATED FOR FUTURE SWALES ROAD. PRIOR TO SWALES ROAD EXTENSION, LOT SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- A SECOND EGRESS WILL BE PROVIDED UPON THE COMPLETION OF 30 OR MORE HOMES.
- LANDSCAPING, FENCES, ACCESSORY STRUCTURES, ETC. SHALL NOT BE PERMITTED IN EASEMENTS.
- ALL UTILITY EASEMENTS AS SHOWN SHALL BE RESERVED FOR THE REPAIR, PLACEMENT, AND REMOVAL OF PUBLIC UTILITIES.
- EXISTING ZONING: AR
- PROPOSED ZONING: PD-R

DEVELOPER

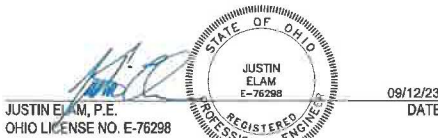
DDC MANAGEMENT, LLC.
3601 RIGBY ROAD, SUITE 300
MIAMISBURG, OH 45342
PH: (937) 810-1500

ENGINEER/SURVEYOR

CESO, INC.
3601 RIGBY ROAD, SUITE 300
MIAMISBURG, OH 45342
PH: (937) 435-8584
JUSTIN ELAM, P.E.

OWNER(S)

HUEGEL ANN
& CHARLES E ISERN
3054 W ST RT 55
TROY OH 45373



JUSTIN ELAM, P.E.
OHIO LICENSE NO. E-76298

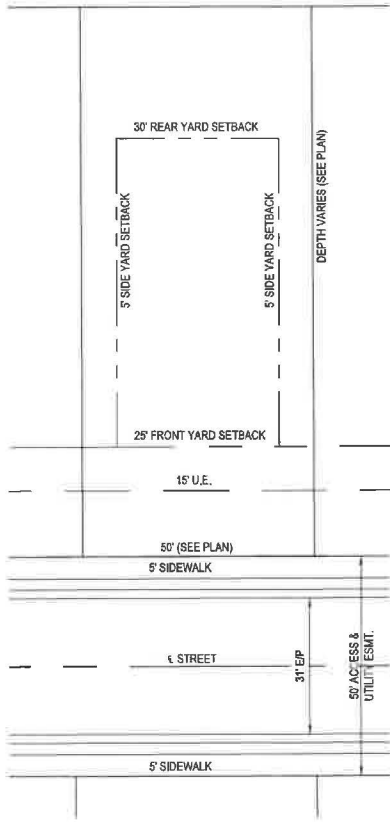
DATE

SITE DATA TABLE

OVERALL ACREAGE	58.09 ACRES
LOT COUNT	189
DENSITY	3.25 UNITS/ACRE
ACCESS EASEMENT AREA	7.21 AC
OPEN SPACE	12.54 AC (21.6%)
RIGHT-OF-WAY (S.R. 55, NASHVILLE RD., SWALES RD.)	6.02 AC

SHEET LIST TABLE

NUMBER	TITLE
1	TITLE SHEET
2	EXISTING CONDITIONS
3	OVERALL PLAN
4	LAYOUT PLAN
5	UTILITY PLAN
6	PRE-DEVELOPED DRAINAGE PLAN
7	POST-DEVELOPED DRAINAGE PLAN



TYPICAL LOT DATA
SCALE 1" = 20'

LOT DATA

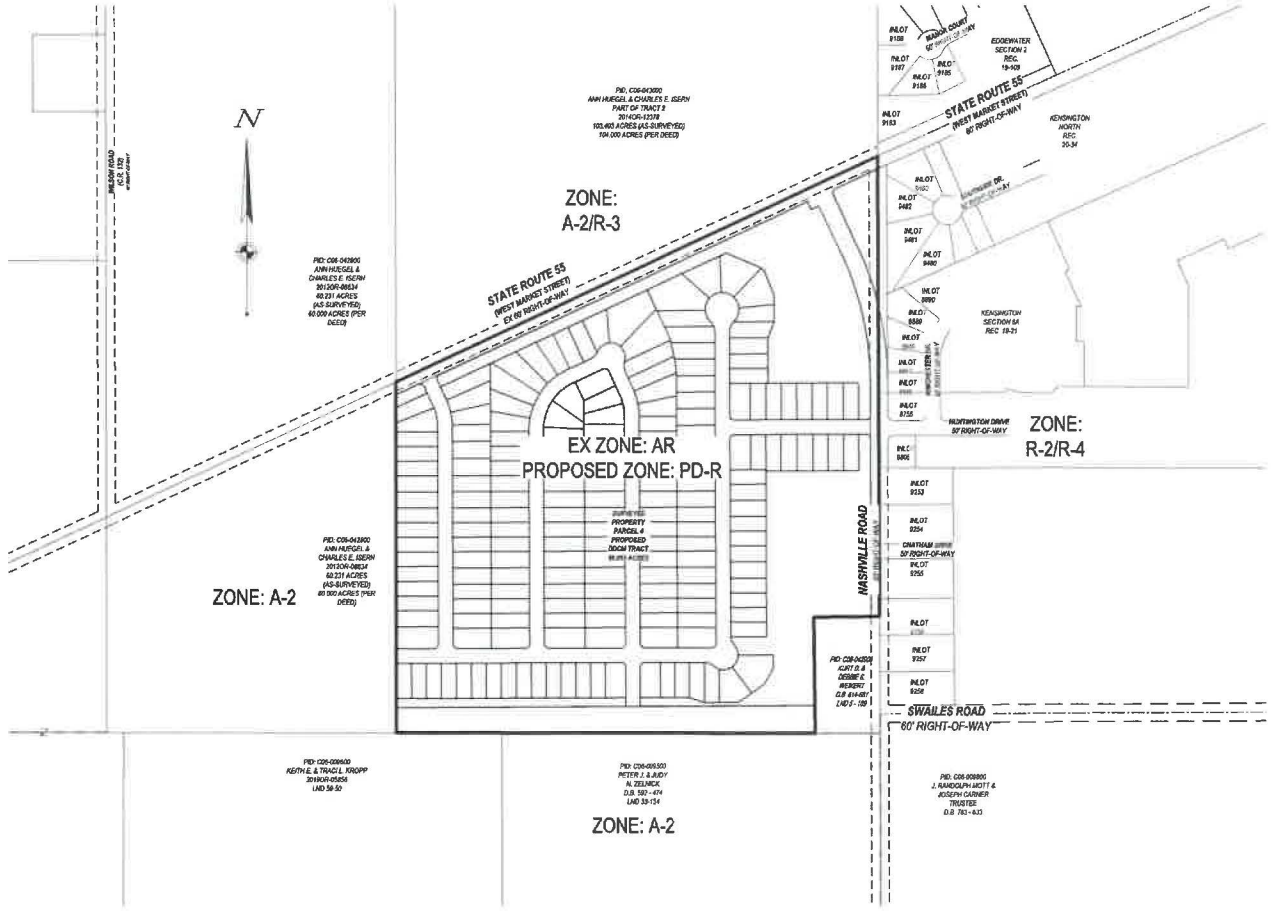
MIN. LOT WIDTHS 50'
MIN. FRONT YARD SETBACK 25'
MIN. REAR YARD SETBACK 30'
MIN. SIDE YARD SETBACK 5', 10' TOTAL
MIN. LOT SIZE 6,000 SF

ROADWAY TABLE

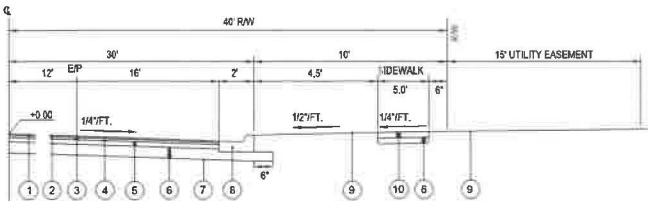
NAME	ACCESS	OWNERSHIP/MAINTENANCE
INTERNAL STREETS	PRIVATE	HOA
STATE ROUTE 55	PUBLIC	CITY OF TROY
NASHVILLE ROAD	PUBLIC	CITY OF TROY

- ITEM 441 - ASPHALT CONCRETE SURFACE COURSE, TYPE1
- ITEM 407 - TACK COAT @0.1 GAL/S.Y.
- ITEM 441 - ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2
- ITEM 408 - PRIME COAT @0.4 GAL/S.Y.
- ITEM 301 - ASPHALT CONCRETE BASE
- ITEM 304 - AGGREGATE BASE
- ITEM 608 - SUBGRADE COMPACTION
- ITEM 609 - COMBINATION CURB AND GUTTER - TYPE 2
- ITEM 609 - COMBINATION "REVERSE" CURB AND GUTTER - TYPE 2
- ITEM 659 - SEEDING AND MULCHING
- ITEM 608 - 4" CONCRETE WALK

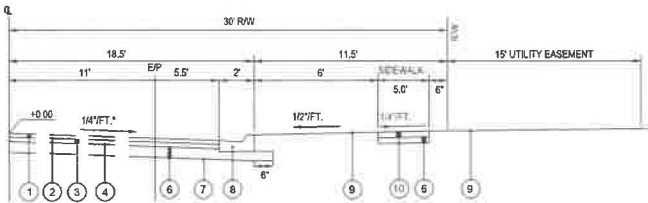
NOTE: COURSE THICKNESS SHALL BE PER CITY OF TROY STANDARDS



AREA MAP
SCALE: 1" = 300'

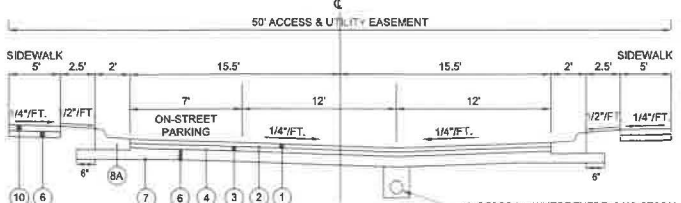


TYPICAL SECTION
STATE ROUTE 55 WIDENING



TYPICAL SECTION
NASHVILLE ROAD WIDENING

*SLOPE MAY VARY BASED ON FINAL ROADWAY DESIGN



TYPICAL SECTION
PRIVATE STREET
HOA MAINTAINED
(INTERNAL STREETS)

UNDERDRAIN WHERE THERE IS NO STORM SEWER IN THE CENTER OF THE ROADWAY

DDCM MANAGEMENT LLC.

SOMERSET RESERVE

NASHVILLE ROAD
TROY, OH 45373

Revisions / Submissions

ID Description Date

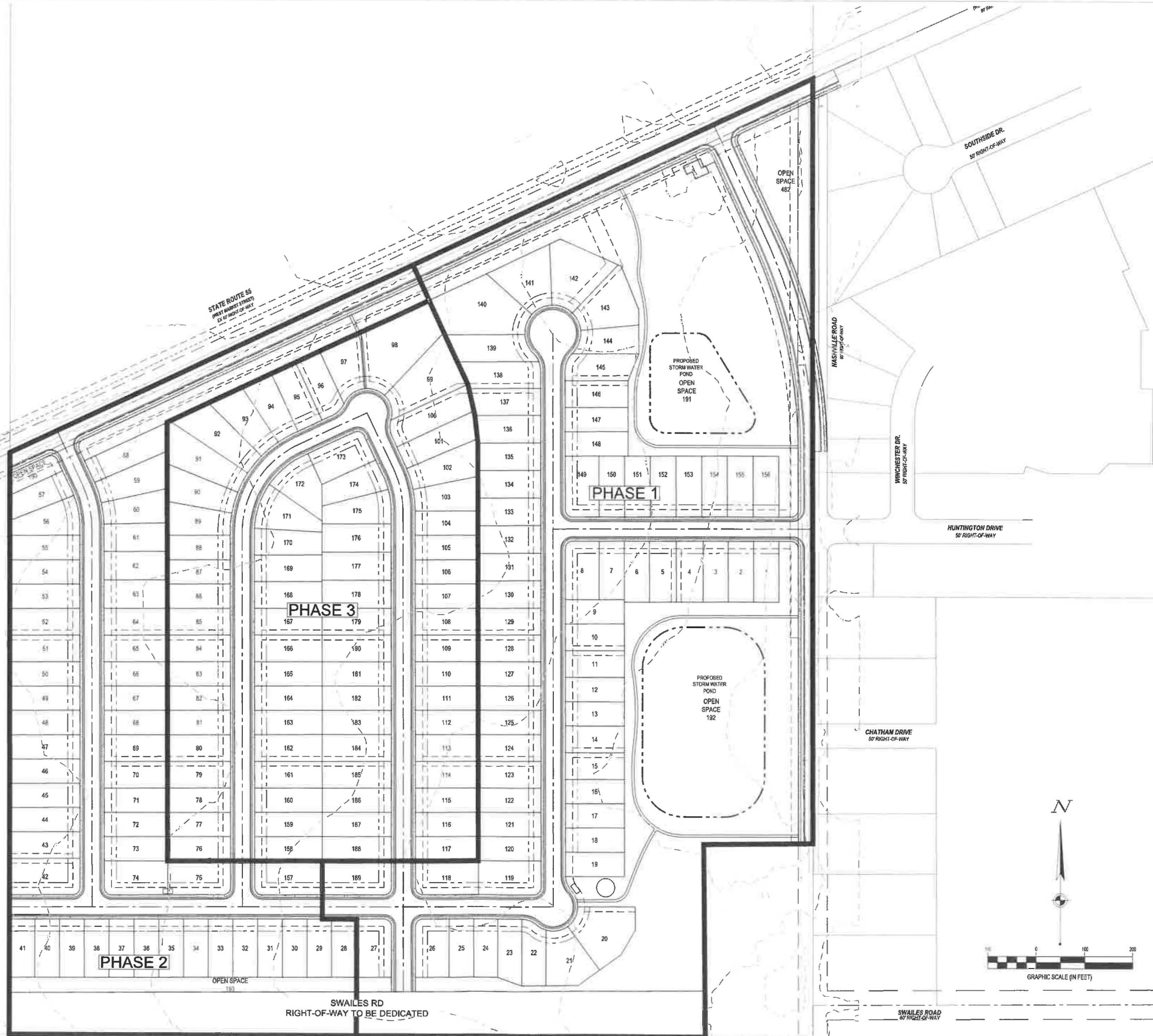
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Drawn By: SJS
Checked By: JEE
Date: SEPTEMBER 12 2023
Issue: PRELIMINARY

Drawing Title:

TITLE
SHEET

W:\PROJECTS\DDCM\761451 - Troy OH\03-CIVIL\3-PD PLAN\PLAN\761451_PLAN.dwg - 9/12/2023 - Steven Shelton



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Phone: 607.435.8584 Fax: 607.298.4829

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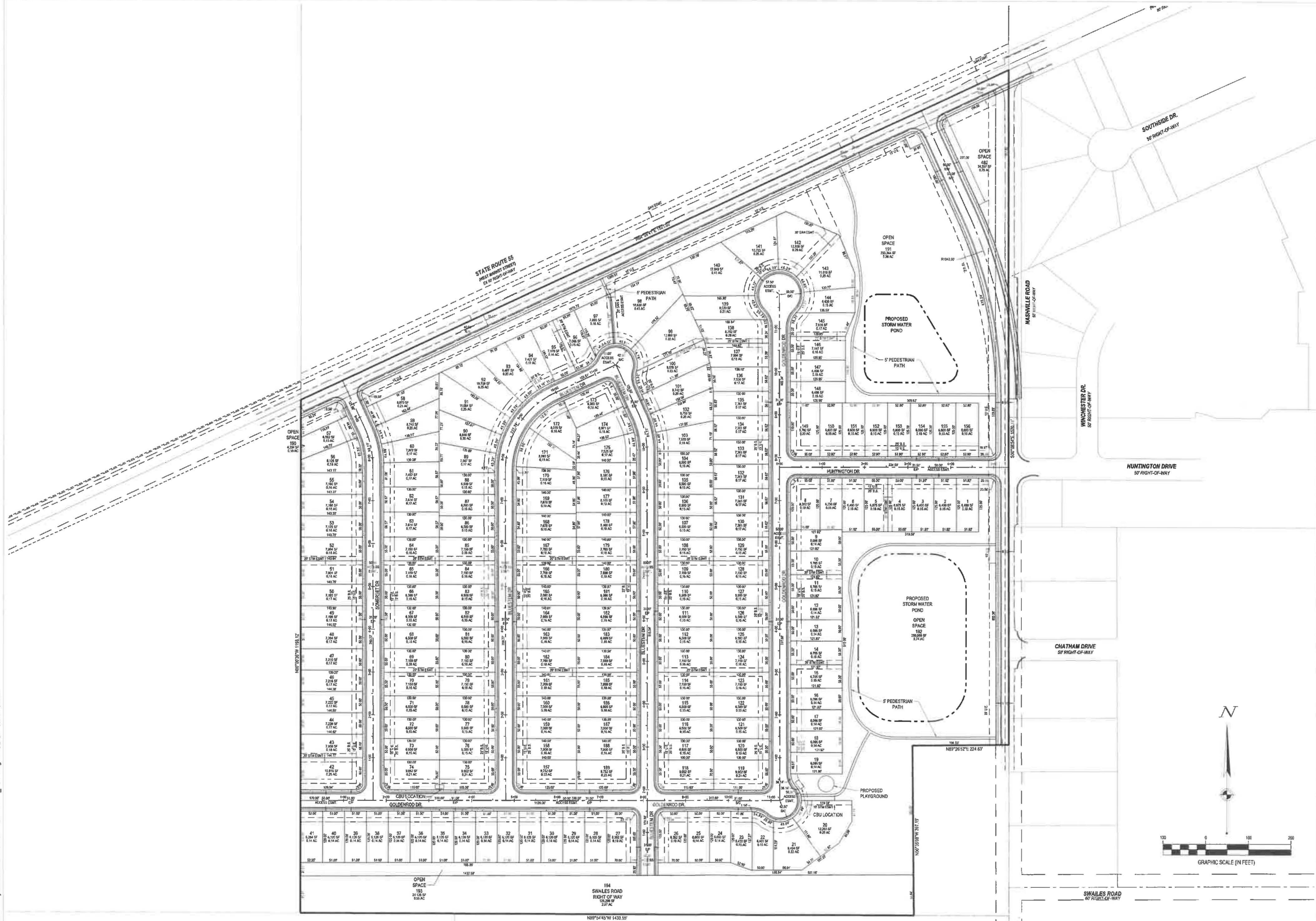
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TROY, OH 45373

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ID Description Date

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**OVERALL
PLAN**

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TROY, OH 45373

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**LAYOUT
PLAN**



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Mansfield, OH 44842
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TROY, OH 45373

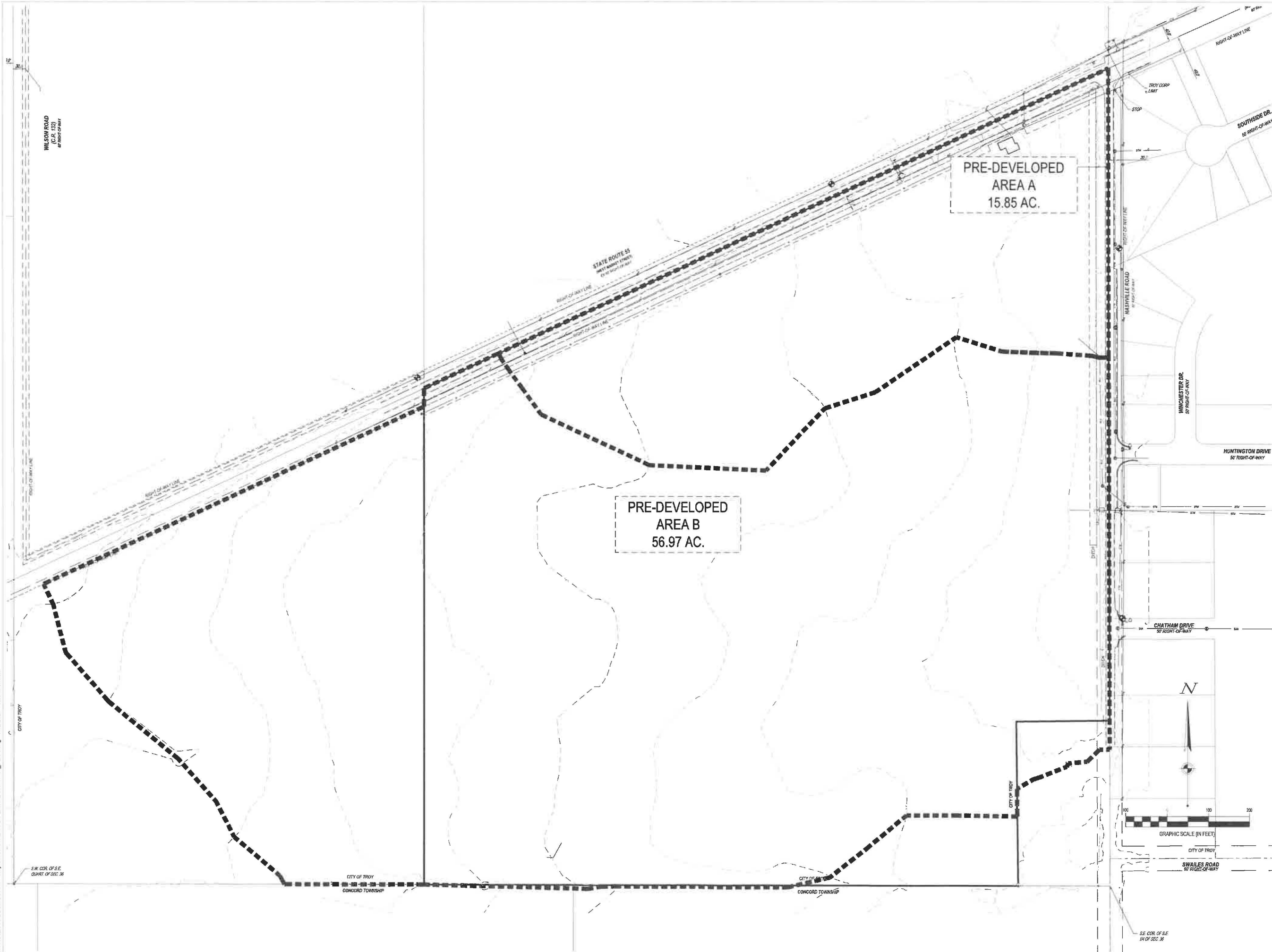
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Checked By: JEE
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Issue: PRELIMINARY

Drawing Title:
UTILITY PLAN

LEGEND	
	STORM SEWER LINE
	SANITARY SEWER LINE
	DOMESTIC WATER SERVICE LINE
	CATCH BASIN
	SANITARY SEWER
	CURB INLET
	FIRE HYDRANT





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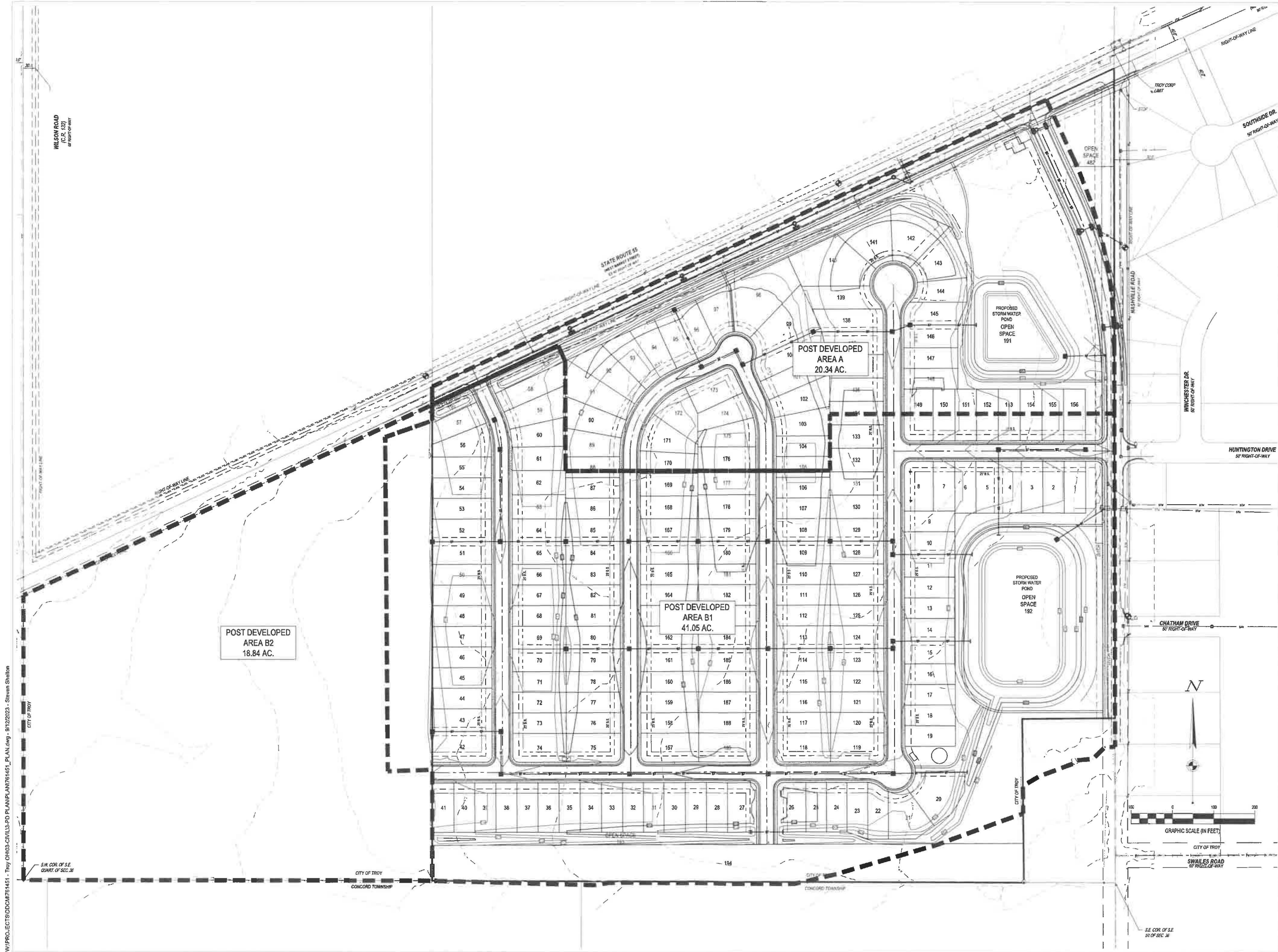
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Drawing Title:
**PRE-DEVELOPED
DRAINAGE PLAN**



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Project Number: 761451

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Drawn By: SJS

Checked By: JEE

Date: SEPTEMBER 12 2023

Issue: PRELIMINARY

Drawing Title:

**POST-DEVELOPED
DRAINAGE PLAN**



APPLICATION FOR A PLANNED DEVELOPMENT

An application for a Planned Development located at 3054 W SR 55 Troy, OH 45373

being lot number(s) C06-043000 (Street Address)
(Parcel Identification Number) PD-R
(Proposed Zoning Classification)

OWNER

Name ANN HUEGEL & CHARLES E ISERN/ Broker - Patrick Coleman
Address 648 Gamewell Drive
City Miamisburg
State OH
Zip Code 45342
Phone No. 937-477-3746 (Owners Broker)
Fax No. N/A
Email pcoleman174@gmail.com

APPLICANT

Name DDC Management, LLC
Address 3601 Rigby Rd. Suite 300
City Miamisburg
State OH
Zip Code 45342
Phone No. 937-421-8806
Fax No. N/A
Email kirk.ridder@ddcmgmt.com

The applicant is the Agent/ Potential Buyer of the property, which is subject to this application.
(State the interest of the applicant)

I hereby depose and say that the above statements and the statements contained in all the exhibits prepared by me and transmitted herewith are true.

Kirk Ridder

(Applicant Signature)

Subscribed and sworn to before me this 15th day of August, 2023

My Commission Expires 9/15/2024
(Month/Date/Year)

Amanda M. Doerr
(Notary Public)

Amanda M. Doerr
Notary Public
Benton County, State of Arkansas
Comm. Exp. 09/15/24
Commission No. 12402195

102 South Market Street, Troy, OH 45373-7303

Make it yours



EXHIBIT "A"

OWNERSHIP AUTHORIZATION

I, We, Ann Huegel and Charles Isern hereby authorize any representative
(Property Owner(s) – Please Print)

of DDC Management, LLC to submit any/all zoning, rezoning, subdivision, variance and other
applications necessary to obtain plan approvals in the City of Troy, Ohio.

This authorization is for the 58 acres (approximately), located at the southwest corner of
SR 55, and Nashville Road.

Signature:
Ann Huegel, married

Ann Huegel

dotloop verified
04/24/23 12:26 PM EDT
TDPE-HSSE-I4YB-W43R

Date: 04/24/2023

Signature:
Charles E, Isern, unmarri

Charles Isern

dotloop verified
04/24/23 10:13 AM EDT
HKJU-AAAP-J4TT-XQMQ

Date: 04/24/2023